



NORTH FACE ROOFING, INC.

3320 Saddleback Road
Park City, UT 84098
435-214-7656 / Fax 435-214-7651

PROPOSAL

Date: 7/18/2023
To: IKON USA
PO Box 980022, Park City UT 84098
Job Name: Sommet Blanc
9300 Marsac Ave, Park City UT

We hereby submit a proposal for the following scope of work to include –

Plans Dated: 11-18-2022

SOPREMA SBS ROOFING (At high roof sloped roof, top of mechanical tower areas and lower large sunshade canopy building A)

- *Install R-30 ISO rigid insulation – adhered to concrete deck*
- *Install ½” primed gyp roof board - adhered*
- *Install 2 plies of SBS base sheet – adhered in cold adhesive*
- *Install pre-finished 24 ga edge metal at outer roof perimeter*
- *Install gravel cover ballast in cold adhesive*
- *Provide manufacturer’s 20-year NDL warranty*
- *Provide North Face Roofing, Inc. 2-year workmanship warranty*

FLAT AREA WATERPOOFING (See attached areas plan)

SOPREMA LM-BARR SYSTEM

- *Install base layer of Colphene LM BARR @ 4 gal per sq coverage*
- *Install polyfleece membrane*
- *Install top layer of Colphene LM bar BARR @ 4 gal per sq coverage*
- *Install Colphene Sanded SBS protection sheet over LM Barr assembly*
- *Flash drains, walls, edges as required*
- *Provide manufacturer’s 20-year NDL warranty*
- *Provide North Face Roofing, Inc. 2-year workmanship warranty*

BREAKOUT: *Total: \$2,114,300*
Bldg A \$788,700
Bldg B \$854,400
Bldg C \$471,200

Pricing subject to change based on revised scopes or project details

This quote is based on the above outlined systems which are variances from the original specifications and plans

****NOTE: DUE TO MATERIAL PRICE VOLATILITY AT THIS TIME, ANY VERIFIED MATERIAL PRICE INCREASES WOULD BE AN ADDITIONAL COST – See Item #4 below***

EXCLUSIONS/CONDITIONS TO BID: Snow Removal and weather protection, framing, blocking, excludes full taper insulation – assumed roof decks are sloped, drainage boards and above water-proofing insulation, all sheet metal flashings except for PVC coated metal as noted above, repair of damaged roofing/water-proofing, above roof vegetation, ballast, pavers, etc. If ribs required on single-ply, this would be an additional cost

- ***GC to provide crane to lift materials onto roof***
- ***Bulk of retainage to be paid within 180 days of our work being substantially completed – cost of \$10,000 per month beyond the 180 days to be added to the contract price***

To ensure our ability to furnish the work identified for the price provided herein, this proposal is subject to prompt acceptance and may be withdrawn by us if not accepted **within 90 days.**

- All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices, tolerances for uniformity, color, variation, thickness, size, weight, finish and texture. Specified quantities are intended to represent an average over the entire scope of work.
- Any alteration or deviation from above specifications involving extra costs will be executed only upon written change orders, and will become an extra charge over and above the estimate.
- We are covered by general liability insurance and our workers are covered by worker's compensation insurance.

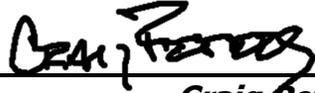
This proposal is expressly limited and subject to all the terms and conditions stated below and with acceptance of this proposal it is agreed that upon execution of any resulting contract, the following terms are herein accepted and agreed to:

1. Approval by North Face Roofing, Inc. of Customer's credit which shall not be unreasonably withheld.
2. North Face Roofing, Inc. has devoted time, money and resources toward preparing this bid in exchange for Customer's express agreement that the parties shall have a binding contract consistent with the terms of this bid proposal and Customer unconditionally and irrevocably accepts this bid proposal if it (A) in any way uses or relies on the bid proposal or information herein to prepare "Customer's bid" for the project at issue and Customer is awarded a contract for the work; or (B) divulges the bid or any information therein to others competing with North Face Roofing, Inc. for the work.
3. Asking or allowing the North Face Roofing, Inc. to commence work, procuring materials, or otherwise make preparations for work, will constitute acceptance by Customer of this bid proposal. North Face Roofing, Inc. and **Customer will execute either a Consensus DOCS 750 (2017) or a Consensus DOCS 751 (2017) subcontract form to memorialize their agreement**, supplemented and modified as provided by this bid proposal which shall be incorporated by reference into the final subcontract. In the event of any conflict between the terms of this bid proposal and any other documents stating terms of the final subcontract, this bid proposal shall govern. Other contracts, other than the Consensus DOCS 750 / 751 may be acceptable, however the Customer would be required to pay for any costs over and above the quoted price incurred for any legal review and negotiation required. If in the event a contract is not executed, the terms of the Consensus Docs 750 (2017) will govern, subject to the terms and conditions of this bid proposal.
4. A change in the price of an item of material of more than 5% between the date of this bid proposal and the date of installation shall warrant an equitable adjustment in the subcontract price.
5. North Face Roofing, Inc. will not be required to name additional insureds to its general liability insurance policy, nor to waive subrogation for claims covered by workers' compensation or commercial general liability or auto liability insurance. North Face Roofing, Inc. shall maintain insurance with coverage and limits only as provided by North Face Roofing, Inc.'s existing insurance program evidenced by its certificate of insurance available on request. Any naming of others as additional insureds is intended to apply only to the extent that a negligent act or omission by North Face Roofing, Inc. causes a claim to be asserted or a loss to be sustained by the Additional Insured. The additional insured endorsement is not intended and shall not be construed to cause North Face Roofing, Inc. or its insurer to be liable either to defend or to indemnify the Additional Insured for claims against or losses sustained by the Additional Insured that are not due to the fault of North Face Roofing, Inc. North Face Roofing, Inc. will be indemnified and held harmless to the full extent of the law

against any liability in any respect for any damage to the building or any components or contents thereof, including mold, mildew or interruption in the use of the building or personal injury claims resulting from alleged mold growth, including claims brought by any third parties.

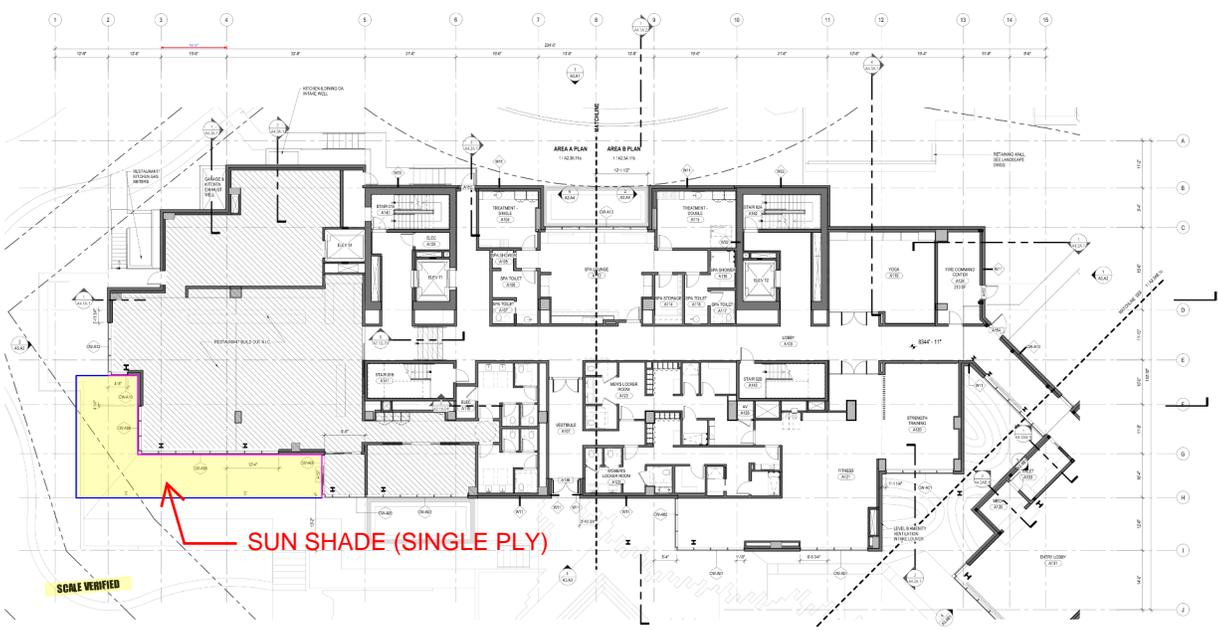
6. Customer shall purchase and maintain builder's risk and property insurance, including the labor and materials furnished by North Face Roofing, Inc., covering fire, windstorm, extended coverage, malicious mischief, vandalism and theft on the premises to protect against loss or damage to materials and in-place work until the project is completed and accepted by the Owner.
7. North Face Roofing, Inc.'s schedule of values shall be used to determine progress payments. All sums not paid when due shall bear interest at the rate of 1½ % per month from due date until paid or the maximum rate permitted by law whichever is less; and all costs of collection, including a reasonable attorney's fee, shall be paid by Customer. North Face Roofing, Inc. shall not be required to continue work if not paid.
8. The proper venue to resolve any disputes arising under the subcontract shall be the place where the project is located, and the laws of said place shall govern all such disputes.
9. North Face Roofing, Inc. shall be entitled to equitable adjustments of the contract price, including but not limited to any increased costs of labor, supervision, equipment or materials, and reasonable overhead and profit, for any modification of the project schedule differing from the bid schedule, and for any other delays, acceleration, out-of-sequence work and schedule changes beyond its reasonable control, including but not limited to those caused by labor unrest, fires, floods, acts of nature or government, wars, embargos, vendor priorities and allocations, transportation delays, suspension of work for non-payment or as ordered by Customer, or other delays caused by Customer or others. Should work be delayed by any of the aforementioned causes for a period exceeding ninety (90) days, North Face Roofing, Inc. shall be entitled to terminate the subcontract. North Face Roofing, Inc. change proposals must be processed in not more than (thirty) 30 days or as otherwise indicated on the change proposal.
10. THE EXPRESS WARRANTIES SET FORTH IN THE SUBCONTRACT DOCUMENTS ARE PROVIDED IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE ARE HEREBY DISCLAIMED BY NORTH FACE ROOFING, INC.. North Face Roofing, Inc. is not responsible for special, incidental or consequential damages, and North Face Roofing, Inc.'s liability for delay damages shall not exceed 5% of the original subcontract amount. North Face Roofing, Inc. is not responsible for damage to its work by other parties, and any repair work necessitated by such damage is extra work. All materials shall be furnished in accordance with the respective industry tolerance of color variation, thickness, size, finish, texture and performance standards. All warranty claims must be received by North Face Roofing, Inc. not more than one (1) year after completion of North Face Roofing, Inc.'s work, and North Face Roofing, Inc. must be provided a reasonable opportunity to inspect and make corrections, or such warranty claims are barred.
11. Except as specifically required by the work and specifications included in this bid proposal, Customer shall furnish all temporary site facilities, including but not limited to site access, storage space, hoisting facilities, guard rails, covers for floor, roof and wall openings, security, parking, safety orientation, break and lunch facilities, toilet and wash facilities, drinking water and other water facilities, electrical service, telecommunication service, lighting, heat, ventilation, weather protection, fire protection, and trash and recycling services.
12. North Face Roofing, Inc. shall not participate in a consolidated insurance program ("wrap-up") unless the first page of this bid proposal indicates that North Face Roofing, Inc. shall participate subject to the ASA Wrap-Up Insurance Bid Conditions (2017).
13. Regardless of any language to the contrary contained in a waiver, waivers of lien or bond rights shall exclude retainage, unbilled changes, billed and unpaid changes, and claims which have been asserted in writing or which have not yet become known to North Face Roofing, Inc., and shall either apply only through the date of work for which North Face Roofing, Inc. has been paid in full, or shall be conditional upon receipt of funds to North Face Roofing, Inc.'s account.
14. Commencement of any installation by North Face Roofing, Inc. indicates only that North Face Roofing, Inc. has visually inspected the surface for visible defects. North Face Roofing, Inc. is not responsible for the structural sufficiency, quality of construction, undulations, fastening or moisture content of the substrate or other trades' work or design and their effect on North Face Roofing, Inc.'s scope or materials.
15. North Face Roofing is not responsible for condensation, moisture migration from the building interior or other building components, location or size of drains, adequacy of drainage or ponding water on the roof due to deck or structural conditions.
16. If Owner, Architect, Construction Manager or General Contractor intends to retain a consultant or observer to monitor or evaluate North Face Roofing, Inc.'s work during construction, North Face Roofing, Inc. shall be advised prior to execution of the resulting contract. If the roof monitor has concerns regarding execution or quality of the work being performed by North Face Roofing, Inc., those concerns should be promptly communicated to North Face Roofing, Inc. so that all such concerns can be discussed and addressed in a timely manner. North Face Roofing, Inc. shall be provided with copies of daily, weekly or other reports issued by such consultant or monitor as they are prepared and issued.
17. North Face Roofing, Inc shall not be responsible for loss, damage or delay caused by circumstances beyond its reasonable control, including but not limited to acts of God, accidents, snow, fire, weather, vandalism, regulation, strikes, jurisdictional disputes, failure or delay of transportation, shortage of or inability to obtain materials, equipment or labor. In the event of these occurrences, North Face Roofing, Inc.'s time for performance under this proposal shall be extended for a time sufficient to permit completion of the Work.
18. Sheet Metal and Metal Roofing and especially lengthy-flat span sheets of metal panels will often exhibit waviness, commonly referred to as "oil-canning". The degree of oil-canning and the appearance of the metal will vary depending on factors such as length and color of the panels, alloy, gauge, galvanized process, substrate conditions and exposure to sunlight. Oil-canning pertains to aesthetics and not the performance of the panels or metal system and is not controlled by North Face Roofing, Inc. The type of metal specified can affect the degree of oil-canning. North Face Roofing, Inc. is not responsible for oil-canning or aesthetics. Oil-canning shall not be grounds to withhold payment or reject product of the type specified.
19. General Contractor shall provide North Face Roofing, Inc. with a roof deck that is free and clear of all debris, ready and suitable to receive roofing materials, and with any and all openings properly covered, secured and labeled in accordance with applicable OSHA standards prior to requesting North Face Roofing, Inc. to proceed with the loading of materials and installation.

20. North Face Roofing, Inc.'s price and any resulting contract are based upon not coming into contact with asbestos or asbestos containing materials. If asbestos or asbestos containing materials or toxic materials are encountered, the contract price and time to complete the contract will be adjusted based upon the additional costs and time resulting from the presence of asbestos or toxic materials in the building
21. Customer is aware that roofing products emit fumes, vapors and odors during the application process. Customer shall be responsible for interior air quality, including controlling mechanical equipment, HVAC units, intake vents, wall vents, windows, doors and other openings to prevent fumes and odors from entering the building. Some people are more sensitive to these emissions than others. Customer shall hold North Face Roofing, Inc. harmless from claims and from claims from third parties relating to fumes and odors that are emitted during normal roofing processes.
22. Customer acknowledges that if roofing and construction work may cause disturbance of dust, debris or fireproofing to fall into the interior. Customer agrees to remove or protect property directly below the roof in order to minimize potential interior damage. North Face Roofing, Inc. shall not be responsible for disturbance, damage, clean-up or loss or protection due to commencement of roofing operations.

Authorized Signature: _____ 
Craig Peters / President
craig@northfaceroofs.com
801-455-8492

PLAN GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF STUDO OF EXTERIOR WALLS, CORRIDOR WALLS & INTERIOR WALLS, UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE TO CENTERLINE OF CONCRETE WALLS, UNLESS NOTED OTHERWISE.
3. ALL EXPOSED STRUCTURAL STEEL TO RECEIVE 18# INTERLOCKING FRAMING.
4. AT FRAMED EXTERIOR WALLS, FRAMING TO BE SET BACK 6" FROM FACE OF CONCRETE TO ALLOW FOR CONCRETE FINISH TO BE SET TO FACE FINISH.
5. CLEARANCE DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
6. SEE SHEETS 41-10 AND 41-11 FOR ACCESSIBLE.
7. ALL CORRIDOR WALLS ARE TYPE 04 UNLESS NOTED OTHERWISE.
8. ALL INTERIOR WALLS ARE TYPE 04 UNLESS NOTED OTHERWISE.
9. ALL INTERIOR PARTITIONS ARE TYPE 04 UNLESS NOTED OTHERWISE.
10. ALL FLOORING AROUND CONCRETE STRUCTURAL COLUMNS TYPE 04 UNLESS NOTED OTHERWISE.
11. ALL FLOOR PARTITIONS ON SHEETS 41-10 & 41-11.
12. REFER TO FF&S SAFETY PLANS ALSO. ALSO FOR FULL EXTENT OF FIRE RATED WALLS.
13. ALL EXPOSED REINFORCING BARS TO BE PAINTED WITH 1/4" OF ANTI-RUST PAINT UNLESS NOTED OTHERWISE.
14. ALL EXPOSED REINFORCING BARS TO BE PAINTED WITH 1/4" OF ANTI-RUST PAINT UNLESS NOTED OTHERWISE.
15. REFER TO SHEET 41-10 FOR ADA TYPE ACCESSIBILITY REQUIREMENTS.
16. REFER TO SHEET 41-11 FOR ADA TYPE ACCESSIBILITY REQUIREMENTS.
17. REFER TO SHEET 41-12 FOR ADA PUBLIC SPACE ACCESSIBILITY REQUIREMENTS.

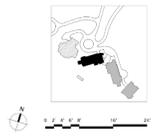


1 TOWER A - LEVEL 1
Scale: 1/8" = 1'-0"

Olson Kundig
SOMMET BLANC
PARK CITY, UT 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 90000
Park City, Utah 84308

<p>Project Consultant: P.O. Box 90000 Park City, Utah 84308</p> <p>Architect: Olson Kundig 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Structural Engineer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>MEP Engineer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Interior Designer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Lighting Designer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Acoustical Consultant: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Energy Consultant: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Construction Consultant: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>General Contractor: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p>	<p>Project Manager: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Engineer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Architect: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project MEP Engineer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Interior Designer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Lighting Designer: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Acoustical Consultant: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Energy Consultant: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project Construction Consultant: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p> <p>Project General Contractor: Carter & Burgess 1000 North 2000 West Salt Lake City, Utah 84119</p>
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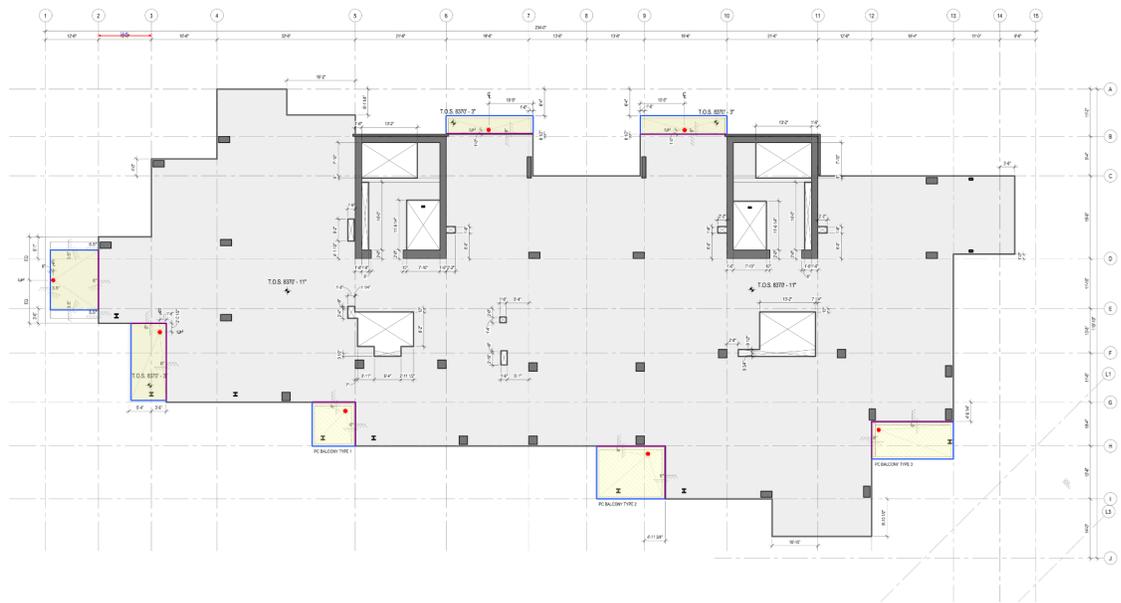


CONCRETE PLAN GENERAL NOTES

1. THESE PLANS SHOW THE LOCATION OF ALL CONCRETE SLABS AND
2. THE THICKNESS OF EACH SLAB SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
3. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE UNLESS OTHERWISE NOTED.
4. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
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CONCRETE PLAN LEGEND

- SLAB FINISH
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLAP SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER A - LEVEL 3
SCALE: 1/8" = 1'-0"

Olson Kundig
SOMMET BLANC
PARK CITY, UT 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 96000
Park City, Utah 84308

- Project Information**
- Client**
- Architect**
- Structural Engineer**
- MEP Engineer**
- Interior Designer**
- Construction Manager**
- General Contractor**
- Subcontractors**



ISSUED FOR CONSTRUCTION
11/19/2022

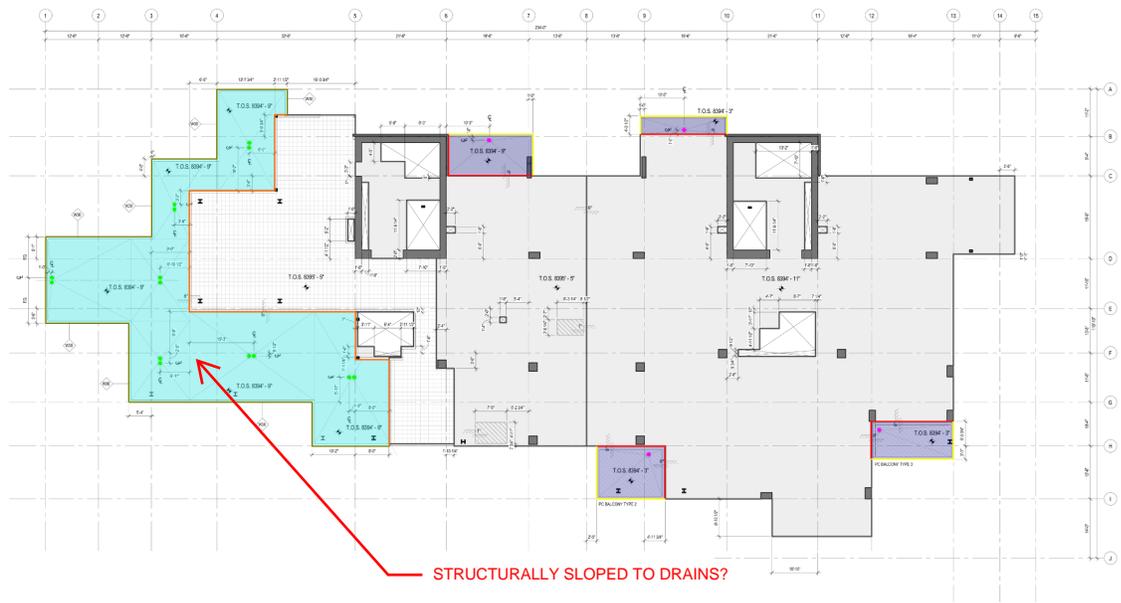
CONCRETE PLAN - TOWER A - LVL 3
A2.1A.13

CONCRETE PLAN GENERAL NOTES

1. THESE PLANS SHALL BE CONSIDERED TO BE THE FINAL SET OF CONCRETE PLAN AND SHALL BE USED TO CONSTRUCT THE CONCRETE STRUCTURE.
2. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
3. ALL CONCRETE SHALL BE CAST TO THE FINISH ELEVATION UNLESS OTHERWISE NOTED.
4. ALL CONCRETE SHALL BE CAST TO THE FINISH ELEVATION UNLESS OTHERWISE NOTED.
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CONCRETE PLAN LEGEND

- SLAB FINISH
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLIFT SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER A - LEVEL 5
SCALE: 1/8" = 1'-0"

Olson Kundig
SOMMET BLANC
PARK CITY, UTAH 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 960000
Park City, Utah 84306

- Project Information**
Project Name: SOMMET BLANC
Project Location: Park City, Utah
Project Number: 2015-001
- Design Team**
Architect: Olson Kundig
Structural Engineer: Sommet Blanc
Civil Engineer: Sommet Blanc
Mechanical Engineer: Sommet Blanc
Electrical Engineer: Sommet Blanc
Interior Designer: Sommet Blanc
Landscape Architect: Sommet Blanc
Construction Manager: Sommet Blanc
- Approval**
Date: 11/19/2022

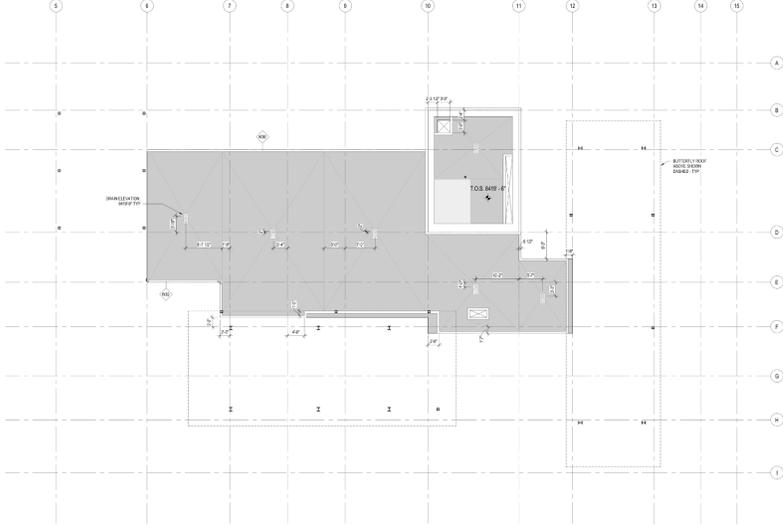


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11/19/2022

CONCRETE PLAN - TOWER A - LVL 5
A2.1A.15



1 CONCRETE PLAN - TOWER A - ROOF - UPPER
SCALE: 1/8" = 1'-0"



2 CONCRETE PLAN - TOWER A - ROOF - LOWER
SCALE: 1/8" = 1'-0"

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL OTHER DRAWINGS FOR FINISHES OF CONCRETE AT DECK AND
2. REFER TO ALL OTHER DRAWINGS FOR FINISHES OF CONCRETE AT DECK AND
3. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% AIR ENTRAINMENT
4. CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISH ELEVATION AND
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CONCRETE PLAN LEGEND

- SLAB FINISHES
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLIFT SLAB
- AREA OF REINFORCED SLAB

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Project Consultant
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2000 North 2000 West, Suite 200
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Architect
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Structural Engineer
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1000 North 2000 West, Suite 200
Park City, Utah 84098

MEP Engineer
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1000 North 2000 West, Suite 200
Park City, Utah 84098

Interior Designer
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1000 North 2000 West, Suite 200
Park City, Utah 84098

Construction Consultant
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1000 North 2000 West, Suite 200
Park City, Utah 84098

Aspen Group USA, LLC
1000 North 2000 West, Suite 200
Park City, Utah 84098

Project Number: 15-192002
Issue Date: 11/19/2022

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11/19/2022

CONCRETE PLAN - TOWER A - ROOF
A2.1A.17

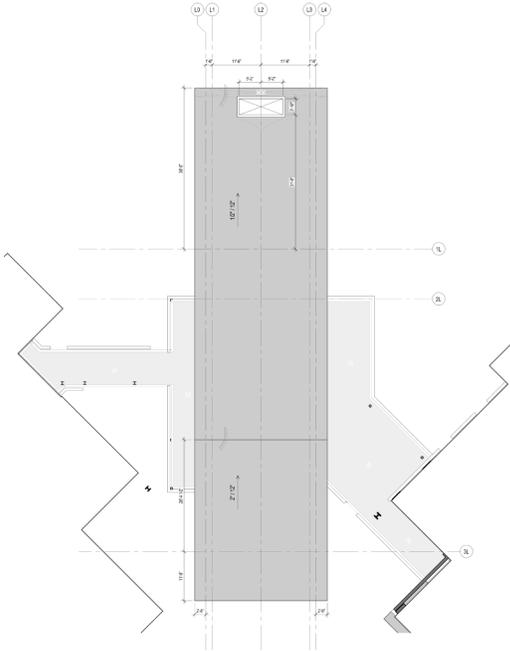


CONCRETE PLAN GENERAL NOTES

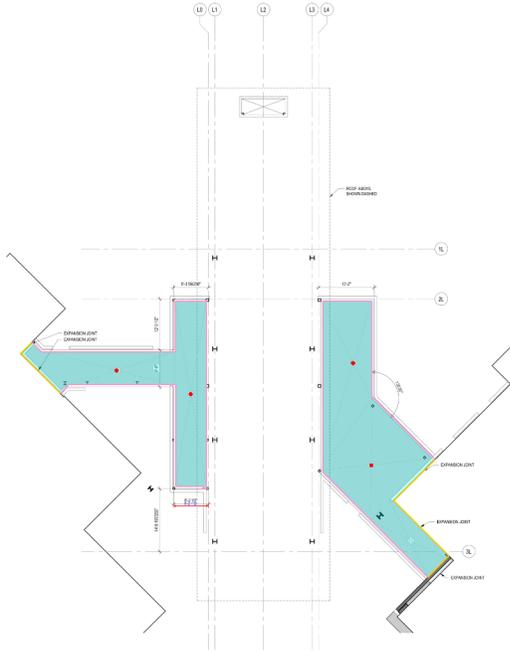
1. THESE PLANS SHALL BE CONSIDERED TO BE THE FINAL SET OF CONCRETE PLAN AND SHALL BE USED TO CONSTRUCT THE CONCRETE STRUCTURE.
2. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
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CONCRETE PLAN LEGEND

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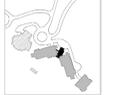


2 CONCRETE PLAN - LOBBY - ROOF - LOWER
SCALE: 1/8" = 1'-0"



1 CONCRETE PLAN - LOBBY - ROOF - UPPER
SCALE: 1/8" = 1'-0"

SCALE VERIFIED



Olson Kundig
SOMMET BLANC
PARK CITY, UT 84302

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P.O. Box 90000
Park City, Utah 84308

Plan Consultant:	Olson Kundig
Project Name:	SOMMET BLANC
Project Location:	Park City, Utah
Client:	Aspen Group USA, LLC
Architect:	Aspen Group USA, LLC
Structural Engineer:	Aspen Group USA, LLC
MEP Engineer:	Aspen Group USA, LLC
Interior Designer:	Aspen Group USA, LLC
Other Consultants:	Aspen Group USA, LLC
Approval:	Aspen Group USA, LLC
Date:	11/19/2022

ISSUED FOR CONSTRUCTION
11/19/2022
CONCRETE PLAN - TOWER AB CONNECTOR - ROOF
A2.1AB.11

CONCRETE PLAN GENERAL NOTES

1. THESE PLANS SHALL BE CONSIDERED AS PART OF THE CONCRETE PLAN AND SHALL BE USED IN CONJUNCTION WITH THE CONCRETE PLAN.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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- AREA OF OVERLIFT SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER B - LEVEL 4
SCALE: 1/8" = 1'-0"

Olson Kundig
SOMMET BLANC
PARK CITY, UTAH 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 86000
Park City, Utah 84308

- Project Information**
Project Name: SOMMET BLANC
Project Location: Park City, Utah
Project Number: 15-00000000000000000000
- Design Team**
Architect: Olson Kundig
Structural Engineer: [Firm Name]
Mechanical Engineer: [Firm Name]
Electrical Engineer: [Firm Name]
Civil Engineer: [Firm Name]
Landscape Architect: [Firm Name]
Interior Designer: [Firm Name]
Lighting Designer: [Firm Name]
Building Information Modeling: [Firm Name]
Acoustical Consultant: [Firm Name]
Energy Consultant: [Firm Name]
LEED Consultant: [Firm Name]



ISSUED FOR CONSTRUCTION
11/16/2022

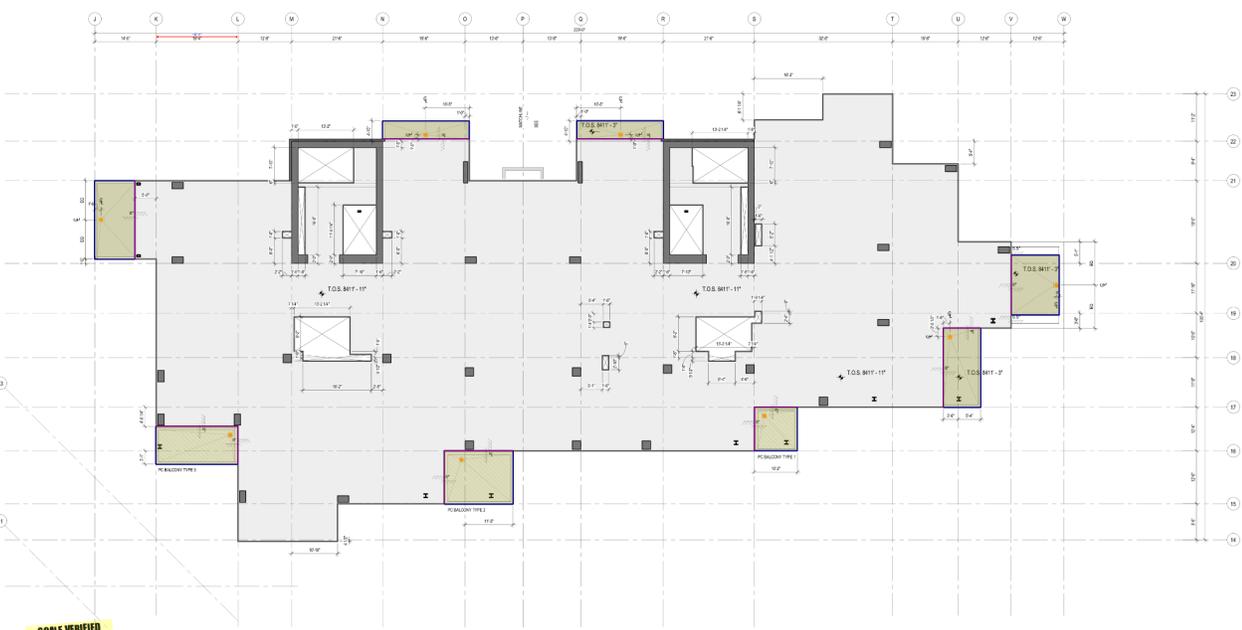
CONCRETE PLAN - TOWER B - LVL 4
A2.1B.14

CONCRETE PLAN GENERAL NOTES

1. THESE PLANS SHALL BE CONSIDERED TO BE THE FINAL SET OF CONCRETE PLAN AND SHALL BE USED FOR THE CONSTRUCTION OF THE CONCRETE SLAB AND CURBS.
2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.

CONCRETE PLAN LEGEND

- SLAB PENETRATION
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLIFT SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER B - LEVEL 5
SCALE: 1/8" = 1'-0"

Olson Kundig
SOMMET BLANC
PARK CITY, UTAH 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 96000
Park City, Utah 84308

- Project Consultant:**
2000 N. University Ave., Suite 200
Park City, Utah 84302
- Architect:**
2000 N. University Ave., Suite 200
Park City, Utah 84302
- Structural Engineer:**
1000 N. University Ave., Suite 200
Park City, Utah 84302
- MEP Engineer:**
1000 N. University Ave., Suite 200
Park City, Utah 84302
- Interior Designer:**
1000 N. University Ave., Suite 200
Park City, Utah 84302
- Lighting Designer:**
1000 N. University Ave., Suite 200
Park City, Utah 84302
- Building Systems Consultant:**
1000 N. University Ave., Suite 200
Park City, Utah 84302
- Acoustical Consultant:**
1000 N. University Ave., Suite 200
Park City, Utah 84302
- MEP Engineer:**
1000 N. University Ave., Suite 200
Park City, Utah 84302



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11/16/2022

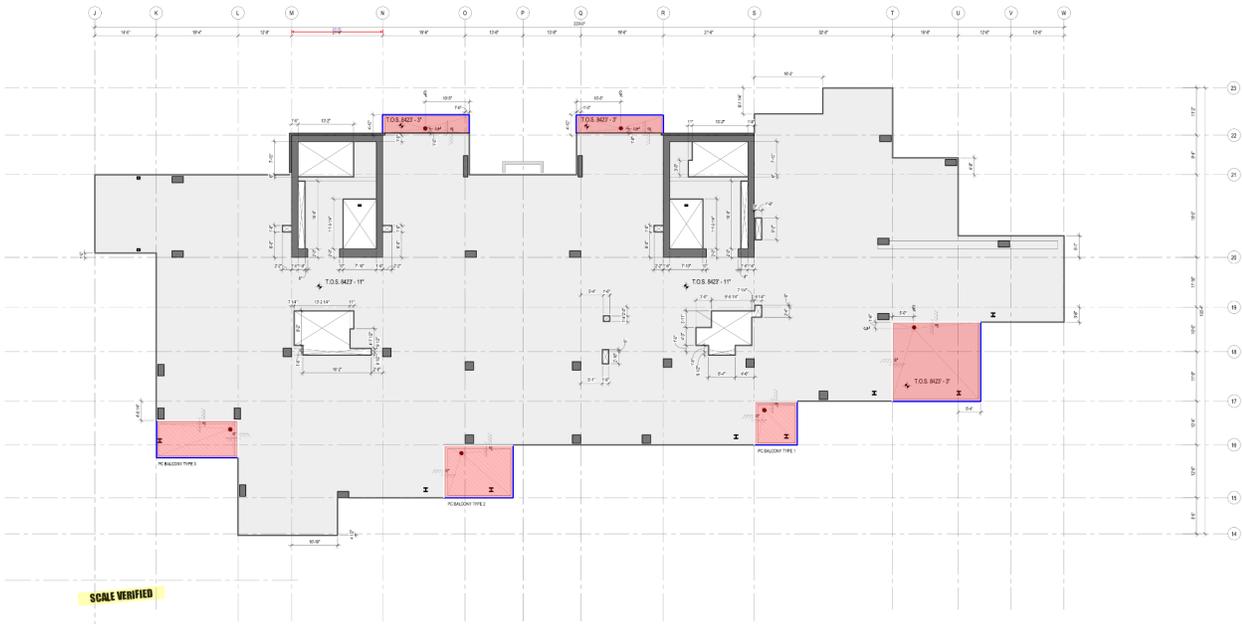
CONCRETE PLAN - TOWER B - LVL 5
A2.1B.15

CONCRETE PLAN GENERAL NOTES

1. THESE PLANS SHALL GOVERN OVER ALL PREVIOUS EDITIONS OF CONCRETE PLAN AND SHALL BE USED IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
6. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
7. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
8. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
9. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
10. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.

CONCRETE PLAN LEGEND

- SLAB PENETRATION
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLIFT SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER B - LEVEL 6
SCALE: 1/8"=1'-0"

Olson Kundig
SOMMET BLANC
PARK CITY, UTAH 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 96000
Park City, Utah 84308

- Project Information**
 Project Name: SOMMET BLANC
 Project Location: Park City, Utah
 Project Number: 15-0000000-00000000
 Project Date: 11/19/2022
- Design Team**
 Architect: Olson Kundig
 Structural Engineer: Sommet Blanc
 Mechanical Engineer: Sommet Blanc
 Electrical Engineer: Sommet Blanc
 Plumbing Engineer: Sommet Blanc
 Fire Protection Engineer: Sommet Blanc
 Civil Engineer: Sommet Blanc
 Landscape Architect: Sommet Blanc
 Interior Designer: Sommet Blanc
 Construction Manager: Sommet Blanc



ISSUED FOR CONSTRUCTION
11/19/2022

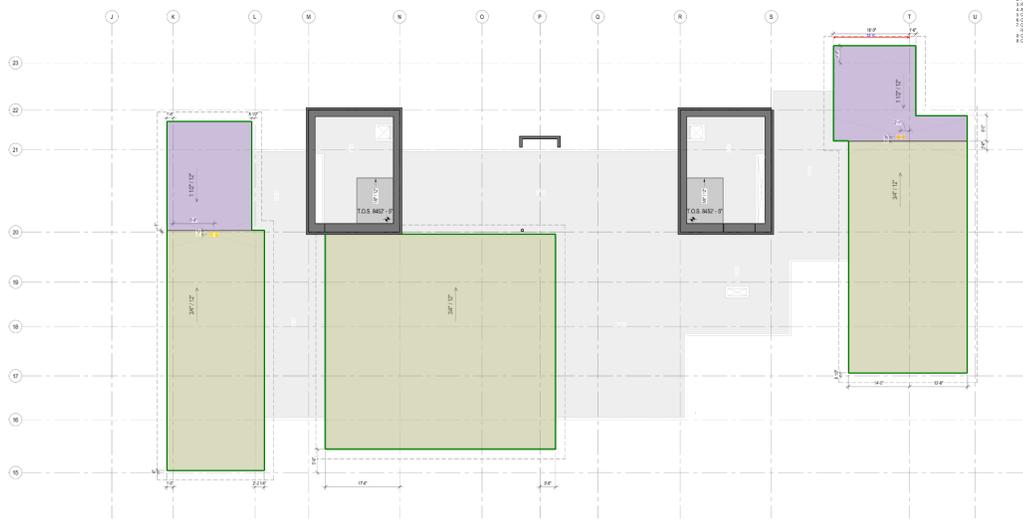
CONCRETE PLAN - TOWER B - LVL 6
A2.1B.16

CONCRETE PLAN GENERAL NOTES

1. THESE PLANS SHALL BE CONSIDERED TO BE THE FINAL DESIGN OF CONCRETE ON-SITE AND SHALL BE USED TO CONSTRUCT THE CONCRETE ON-SITE.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE CONCRETE MANUAL AND THE CONCRETE MANUAL FOR CONCRETE ON-SITE.
5. CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE CONCRETE MANUAL AND THE CONCRETE MANUAL FOR CONCRETE ON-SITE.
6. CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE CONCRETE MANUAL AND THE CONCRETE MANUAL FOR CONCRETE ON-SITE.
7. CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE CONCRETE MANUAL AND THE CONCRETE MANUAL FOR CONCRETE ON-SITE.
8. CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE CONCRETE MANUAL AND THE CONCRETE MANUAL FOR CONCRETE ON-SITE.

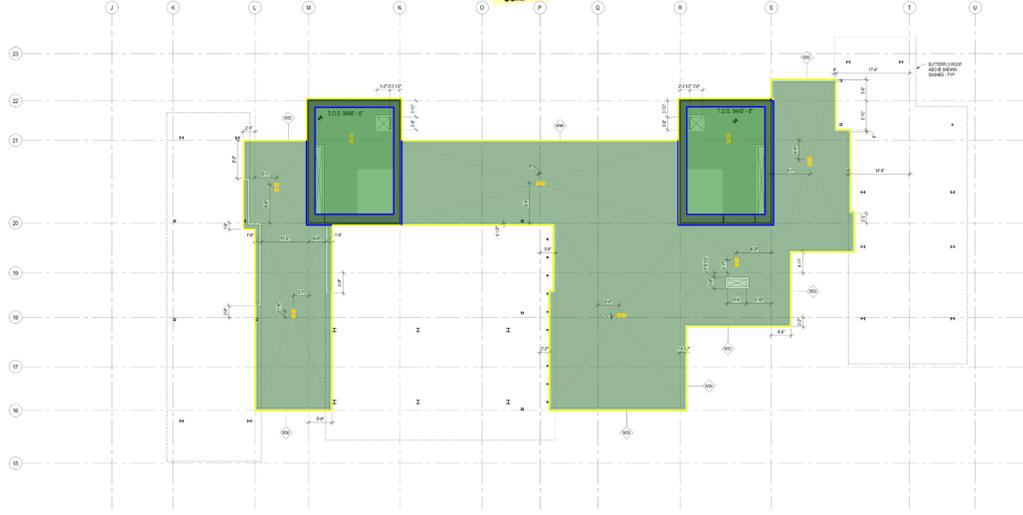
CONCRETE PLAN LEGEND

- SLAB PERIMETER
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLAY SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER B - ROOF - UPPER
SCALE: 1/8" = 1'-0"

SCALE VERIFIED



2 CONCRETE PLAN - TOWER B - ROOF - LOWER
SCALE: 1/8" = 1'-0"



Olson Kundig
SOMMET BLANC
PARK CITY, UT 84302

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P.O. Box 900000
Park City, Utah 84308

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Park City, Utah 84302

Architect:
SOMMET BLANC
1000 S. Main Street, Suite 100
Park City, Utah 84302

Structural Engineer:
Aspen Group USA, LLC
200 N. University Ave., Suite 200
Park City, Utah 84302

Lighting Designer:
SOMMET BLANC
1000 S. Main Street, Suite 100
Park City, Utah 84302

Interior Designer:
SOMMET BLANC
1000 S. Main Street, Suite 100
Park City, Utah 84302

MEP Engineer:
SOMMET BLANC
1000 S. Main Street, Suite 100
Park City, Utah 84302

General Contractor:
SOMMET BLANC
1000 S. Main Street, Suite 100
Park City, Utah 84302

Issue for Construction:
11/19/2022

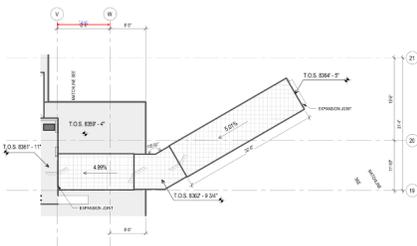
CONCRETE PLAN - TOWER B - ROOF
A2.1B.18

CONCRETE PLAN GENERAL NOTES

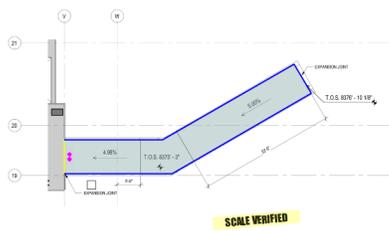
1. THESE PLANS SHALL BE CONSIDERED PART OF THE PROJECT'S CONSTRUCTION DOCUMENTS AND SHALL BE USED IN CONJUNCTION WITH THE GENERAL NOTES AND SPECIFICATIONS.
2. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
3. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
4. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
5. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
6. ALL CONCRETE SHALL BE CAST TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.

CONCRETE PLAN LEGEND

- SLAB FINISH SYMBOL
- SLAB STEP SYMBOL
- SLAB SLOPE SYMBOL
- CONCRETE SLAB
- AREA OF OVERLIFT SLAB
- AREA OF REINFORCED SLAB



1 CONCRETE PLAN - TOWER BC CONNECTOR
SCALE: 1/8" = 1'-0"



2 CONCRETE PLAN - TOWER BC CONNECTOR - ROOF
SCALE: 1/8" = 1'-0"

SCALE VERIFIED



Olson Kundig
SOMMET BLANC
PARK CITY, UT 84302

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 90000
Park City, Utah 84308

Paul Cantrell Owner 200 E. University Ave., Suite 200 Park City, UT 84302	Architect Olson Kundig 1000 North 2000 West, Suite 100 Salt Lake City, UT 84119
Structural Engineer Paul Cantrell 200 E. University Ave., Suite 200 Park City, UT 84302	Civil Engineer Aspen Group USA, LLC P.O. Box 90000 Park City, Utah 84308
Site Engineer Aspen Group USA, LLC P.O. Box 90000 Park City, Utah 84308	MEP Engineer Aspen Group USA, LLC P.O. Box 90000 Park City, Utah 84308

Project	Aspen Group USA, LLC
Location	Park City, Utah
Client	Aspen Group USA, LLC
Design Team	Olson Kundig
Project Manager	Paul Cantrell
Structural Engineer	Paul Cantrell
Civil Engineer	Aspen Group USA, LLC
MEP Engineer	Aspen Group USA, LLC
Scale	1/8" = 1'-0"
Date	11/14/2022

ISSUED FOR CONSTRUCTION

CONCRETE PLAN - TOWER BC CONNECTOR - LVL 1 & ROOF
A2.1BC.1

CONCRETE PLAN GENERAL NOTES

1. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
2. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
3. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
4. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
5. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
6. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
7. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
8. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
9. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.
10. FINISH SHALL BE AS PER ARCHITECT'S AND/OR SPECIFICATIONS AT EACH LEVEL.

CONCRETE PLAN LEGEND

- SLAB REINFORCEMENT
- SLAB TOP FINISH
- SLAB SLOPE FINISH
- CONCRETE SLAB
- AREA OF RECESSED SLAB
- AREA OF OVERLAID SLAB



Olson Kundig
SOMMET BLANC
PROFESSIONAL ENGINEER
STATE OF UTAH
LICENSE NO. 15877



ASPEN GROUP
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Paul Consultant
Paul Consultant
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Provo, UT 84601

Architectural Services
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Structural Engineering
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MEP Engineering
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Salt Lake City, UT 84119

Interior Design
Interior Design
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Lighting Design
Lighting Design
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Building Systems Consultant
Building Systems Consultant
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Salt Lake City, UT 84119

Acoustical Consultant
Acoustical Consultant
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Salt Lake City, UT 84119

Energy Consultant
Energy Consultant
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

LEED Consultant
LEED Consultant
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

General Contract
General Contract
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Management
Construction Management
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Administration
Construction Administration
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Safety
Construction Safety
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Quality
Construction Quality
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Cost
Construction Cost
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Risk
Construction Risk
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Claims
Construction Claims
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Dispute Resolution
Construction Dispute Resolution
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Arbitration
Construction Arbitration
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Mediation
Construction Mediation
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Litigation
Construction Litigation
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Insurance
Construction Insurance
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Surety
Construction Surety
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Bonds
Construction Bonds
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Financing
Construction Financing
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Leasing
Construction Leasing
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Sales
Construction Sales
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Marketing
Construction Marketing
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Public Relations
Construction Public Relations
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

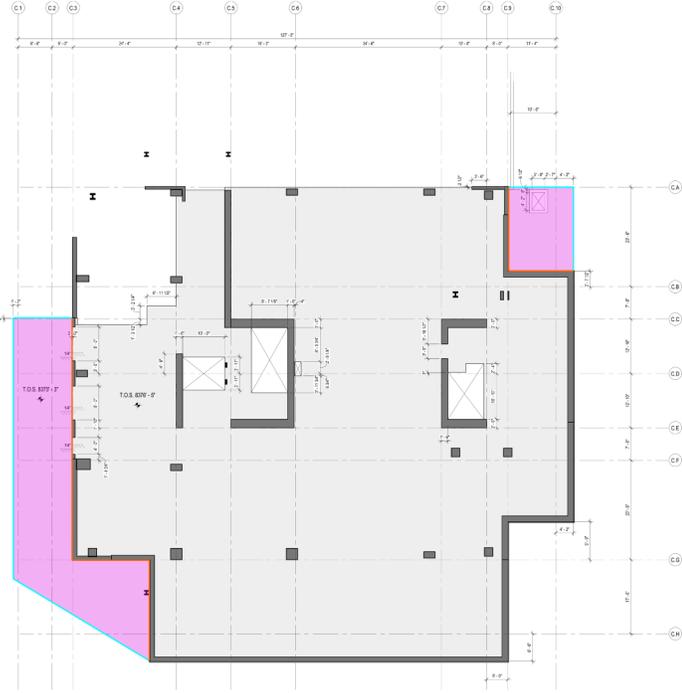
Construction Training
Construction Training
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Research
Construction Research
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Consulting
Construction Consulting
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Advisory
Construction Advisory
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119

Construction Services
Construction Services
1000 W. North Temple, Suite 100
Salt Lake City, UT 84119



1 CONCRETE PLAN - TOWER C - LVL 1
SCALE: 1/8" = 1'-0"



ISSUED FOR CONSTRUCTION
11/16/2022

CONCRETE PLAN - TOWER C - LVL 1
A2.1C.11

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL OTHER SHEETS AND SPECIFICATIONS FOR ALL DETAILS AND REQUIREMENTS.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

CONCRETE PLAN LEGEND

- SLAB REINFORCEMENT
- SLAB TOP FINISH
- SLAB EDGE FINISH
- CONCRETE SLAB
- AREA OF RECESSED SLAB
- AREA OF OVERLAID SLAB



CONCRETE PLAN - TOWER C - LVL 2
SCALE: 1/8" = 1'-0"



Olson Kundig
SOMMET BLANC
PROFESSIONAL ENGINEER
STATE OF UTAH
LICENSE NO. 48392

ASPEN GROUP
Aspen Group USA, LLC
P.O. Box 86000
Park City, Utah 84308

Project Information
Project Name: Tower C - LVL 2
Project Location: Park City, Utah
Project No.: 2023-001

Design Team
Architect: Olson Kundig
Structural Engineer: Sommet Blanc
Civil Engineer: Aspen Group USA, LLC
Mechanical Engineer: Aspen Group USA, LLC
Electrical Engineer: Aspen Group USA, LLC
Interior Designer: Aspen Group USA, LLC
Landscape Architect: Aspen Group USA, LLC
Architectural Photographer: Aspen Group USA, LLC
Graphic Designer: Aspen Group USA, LLC
Printer: Aspen Group USA, LLC
Date: 11/16/2023

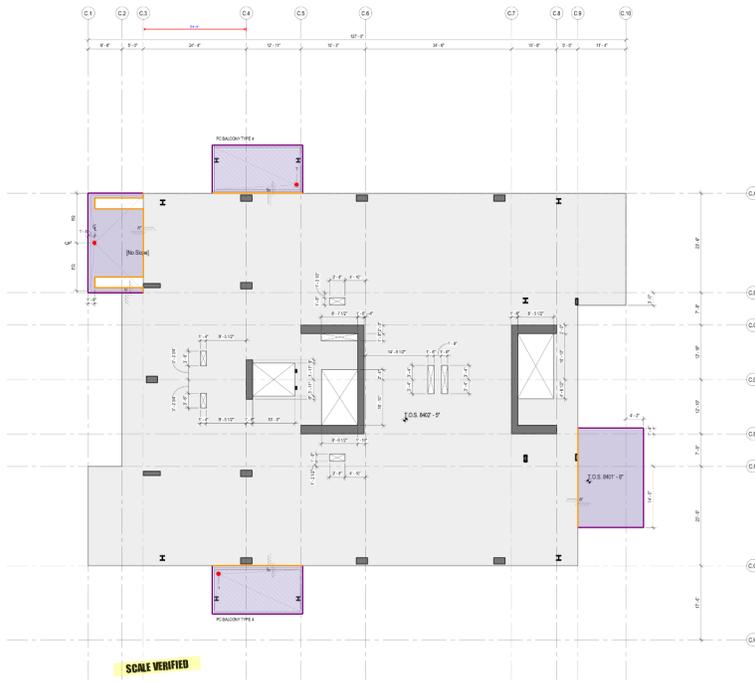
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11/16/2023

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
2. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
3. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
4. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
5. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
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8. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
9. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.
10. REFER TO ALL OTHER SHEETS AND DRAWINGS FOR ALL DETAILS AND NOTES.

CONCRETE PLAN LEGEND

- SLAB REINFORCEMENT
- SLAB TOP FINISH
- SLAB SLOPE FINISH
- CONCRETE SLAB
- AREA OF RECESSED SLAB
- AREA OF OVERLAID SLAB



1 CONCRETE PLAN - TOWER C - LVL 3
SCALE: 1/4" = 1'-0"



Olson Kundig
SOMMET BLANC
PROFESSIONAL ENGINEER
STATE OF UTAH
LICENSE NO. 15000



ASPEN GROUP

Aspen Group USA, LLC
P.O. Box 86000
Park City, Utah 84308

Project Information

Client: [Redacted]
Project Name: [Redacted]
Project Address: [Redacted]
Project City: [Redacted]
Project State: [Redacted]
Project Zip: [Redacted]
Project Date: [Redacted]
Project Description: [Redacted]
Project Status: [Redacted]

Design Information

Design Date: [Redacted]
Design Scale: [Redacted]
Design Status: [Redacted]
Design Notes: [Redacted]

Approval Information

Approved By: [Redacted]
Approved Date: [Redacted]

Issue Information

Issue Date: [Redacted]
Issue Description: [Redacted]

ISSUED FOR CONSTRUCTION
11/16/2022

CONCRETE PLAN - TOWER C - LVL 3
A2.1C.13

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL OTHER SHEETS AND SPECIFICATIONS FOR ALL NOTES AND DETAILS.
2. ALL CONCRETE SHALL BE CAST IN PLACE.
3. ALL CONCRETE SHALL BE CAST WITH PROPER CURING AND FINISHING.
4. ALL CONCRETE SHALL BE CAST WITH PROPER VIBRATION AND FINISHING.
5. ALL CONCRETE SHALL BE CAST WITH PROPER JOINTS AND FINISHING.
6. ALL CONCRETE SHALL BE CAST WITH PROPER JOINTS AND FINISHING.
7. ALL CONCRETE SHALL BE CAST WITH PROPER JOINTS AND FINISHING.
8. ALL CONCRETE SHALL BE CAST WITH PROPER JOINTS AND FINISHING.
9. ALL CONCRETE SHALL BE CAST WITH PROPER JOINTS AND FINISHING.
10. ALL CONCRETE SHALL BE CAST WITH PROPER JOINTS AND FINISHING.

CONCRETE PLAN LEGEND

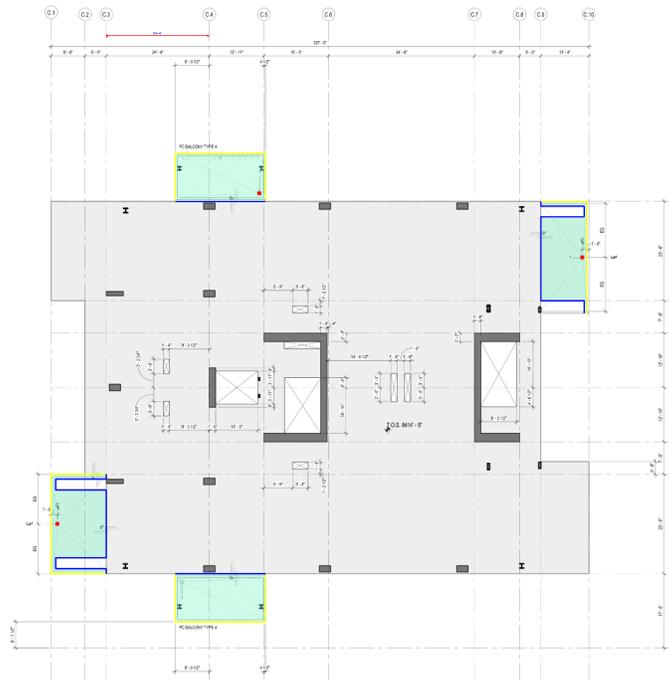
- SLAB REINFORCEMENT
- SLAB FORMWORK
- SLAB EDGE FORMWORK
- CONCRETE SLAB
- AREA OF RECESSED SLAB
- AREA OF OVERLAID SLAB



Olson Kundig
SOMMET BLANC
PROFESSIONAL ENGINEER
STATE OF UTAH
LICENSE NO. 15666

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Park City, Utah 84308

- Project Consultant:**
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Provo, UT 84601
- Architect:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Structural Engineer:**
Sommet Blanc
15666
15666
- General Contractor:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Construction Manager:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Interior Designer:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- MEP Engineer:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Electrical Engineer:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Plumbing Engineer:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Fire Protection Engineer:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Acoustical Engineer:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Energy Auditor:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- Historic Preservation Consultant:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601
- LEED Accredited Professional:**
PCL Construction
2000 N. University Ave., Suite 200
Provo, UT 84601



SCALE VERIFIED

1 CONCRETE PLAN - TOWER C - LVL 4
SCALE: 1/8" = 1'-0"



ISSUED FOR
CONSTRUCTION
11/16/2022

CONCRETE PLAN -
TOWER C - LVL 4
A2.1C.14

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
2. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
3. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
4. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
5. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
6. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
7. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
8. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
9. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.
10. REFER TO ALL NOTES TO ALL SHEETS AND TO ALL CHANGES OF CONCRETE AT THIS LEVEL.

CONCRETE PLAN LEGEND

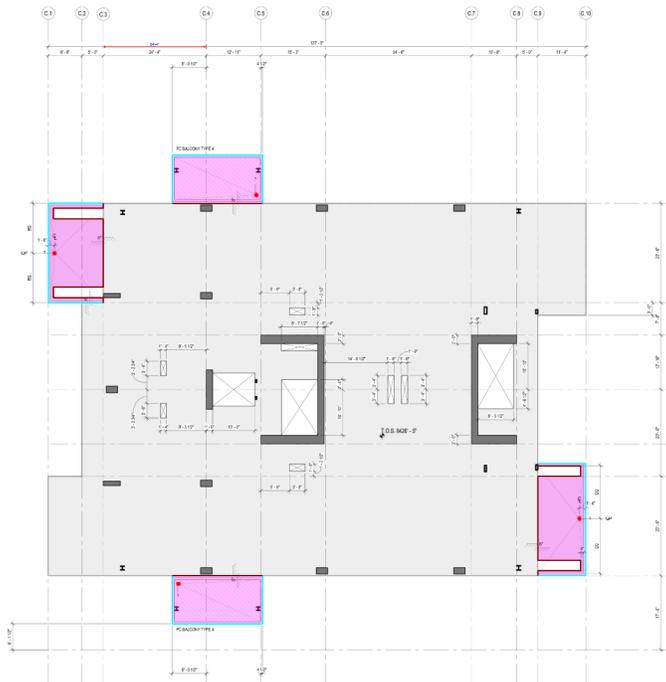
- REINFORCED CONCRETE
- SLAB TOP FINISH
- SLAB TOP SYMBOL
- CONCRETE SLAB
- AREA OF RECEDED SLAB
- AREA OF OVERLAP SLAB



Olson Kundig
 SOMMET BLANC
 PROFESSIONAL ENGINEER
 STATE OF UTAH
 LICENSE NO. 12345

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 Aspen Group USA, LLC
 P.O. Box 860000
 Park City, Utah 84308

- Plot Created:**
 2/28/2022 11:00 AM, Scale: 200
 Project: 11-19-2022
- Project Name:**
 11-19-2022
- Project Location:**
 11-19-2022
- Client:**
 11-19-2022
- Design Engineer:**
 11-19-2022
- Project Manager:**
 11-19-2022
- Lighting Designer:**
 11-19-2022
- Building Systems Consultant:**
 11-19-2022
- Acoustics Consultant:**
 11-19-2022
- MEP Engineer:**
 11-19-2022



SCALE VERIFIED

1 CONCRETE PLAN - TOWER C - LVL 5
 SCALE: 1/8" = 1'-0"



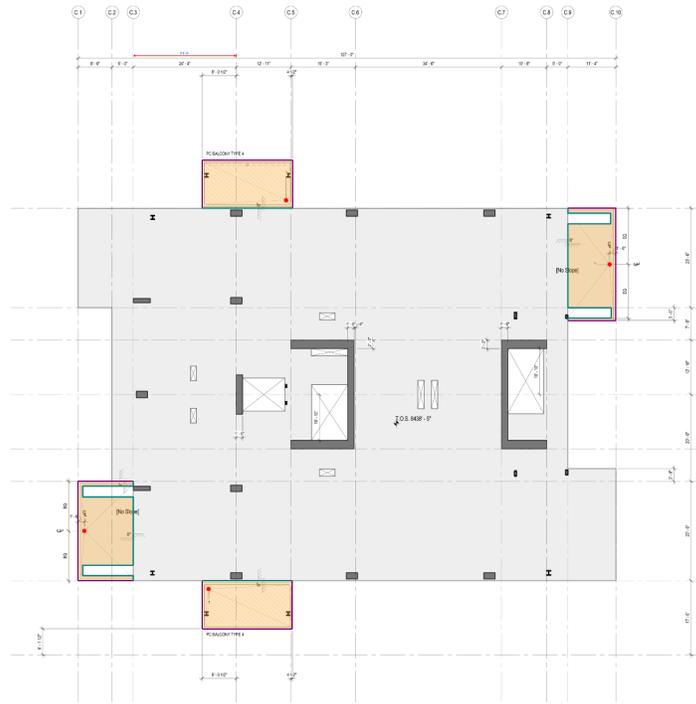
ISSUED FOR CONSTRUCTION
 11/19/2022

CONCRETE PLAN GENERAL NOTES

- 1. REFER ALL AS-BUILT TO THE AS-BUILT DRAWING OF THIS CHANGES OF CONCRETE AT THIS LEVEL.
- 2. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.
- 3. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.
- 4. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.
- 5. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.
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- 8. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.
- 9. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.
- 10. REFER TO THE CONCRETE PLAN GENERAL NOTES FOR ALL CONCRETE DETAILS.

CONCRETE PLAN LEGEND

- REINFORCED CONCRETE
- SLAB TOP FINISH
- SLAB TOP EMBED
- CONCRETE SLAB
- AREA OF RECESSED SLAB
- AREA OF OVERLAP SLAB



1 CONCRETE PLAN - TOWER C - LVL 6
SCALE: 1/4" = 1'-0"



Olson Kundig
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PROFESSIONAL ENGINEER
STATE OF UTAH LICENSE NO. 49248



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DATE	DESCRIPTION

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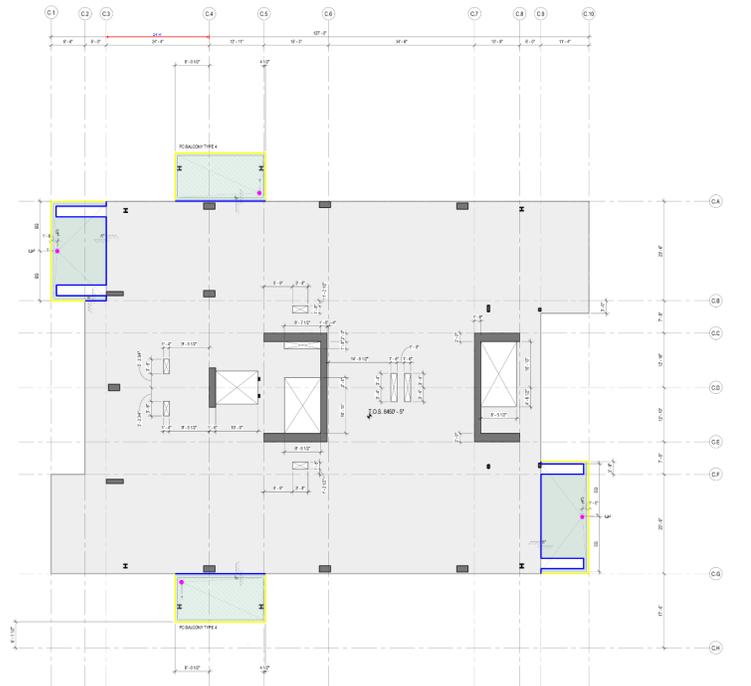
CONCRETE PLAN - TOWER C - LVL 6
A2.1C.16

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL OTHER NOTES AND SPECIFICATIONS OF THIS PROJECT FOR ALL DETAILS.
2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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CONCRETE PLAN LEGEND

- SLAB REINFORCEMENT
- SLAB TOP FINISH
- SLAB EDGE FINISH
- CONCRETE SLAB
- AREA OF RECESSED SLAB
- AREA OF OVERLAID SLAB



1 CONCRETE PLAN - TOWER C - LVL 7
DATE: 11/19/2022



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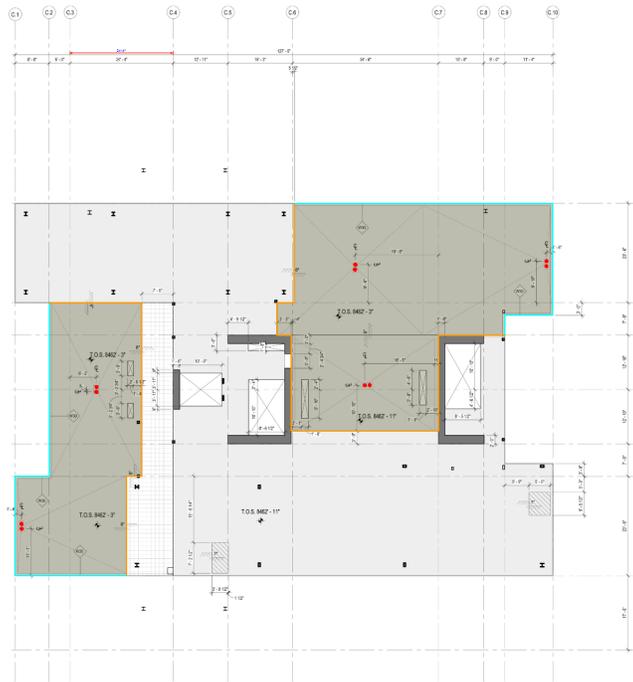
CONCRETE PLAN - TOWER C - LVL 7
A2.1C.17

CONCRETE PLAN GENERAL NOTES

- 1. REFER TO ALL OTHER DRAWINGS FOR ALL CHANGES TO CONCRETE AT THIS LEVEL.
- 2. REFER TO CONCRETE GENERAL NOTES AND ALL SCHEDULES FOR ALL CONCRETE.
- 3. REFER TO ALL OTHER DRAWINGS FOR ALL CHANGES TO CONCRETE AT THIS LEVEL.
- 4. REFER TO ALL OTHER DRAWINGS FOR ALL CHANGES TO CONCRETE AT THIS LEVEL.
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CONCRETE PLAN LEGEND

- [Symbol] REINFORCED CONCRETE
- [Symbol] SLAB TOP FINISH
- [Symbol] SLAB TOP EMBED
- [Symbol] CONCRETE SLAB
- [Symbol] AREA OF RECEDED SLAB
- [Symbol] AREA OF OVERLAP SLAB



1 CONCRETE PLAN - TOWER C - LVL 8
SCALE: 1/8" = 1'-0"



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Project Number: 20-000
Sheet Number: 20-000-01
Date: 11/19/2022

Author: [Name]
Check: [Name]
Date: 11/19/2022

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11/19/2022

CONCRETE PLAN - TOWER C - LVL 8
A21.C.18

CONCRETE PLAN GENERAL NOTES

1. REFER TO ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
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50. REFER TO ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

CONCRETE PLAN LEGEND

- [Symbol] REINFORCED CONCRETE
- [Symbol] SLAB TOP FINISH
- [Symbol] SLAB TOP EVIDENCE
- [Symbol] CHIMNEY SLAB
- [Symbol] AREA OF RECEDED SLAB
- [Symbol] AREA OF OVERLAP SLAB



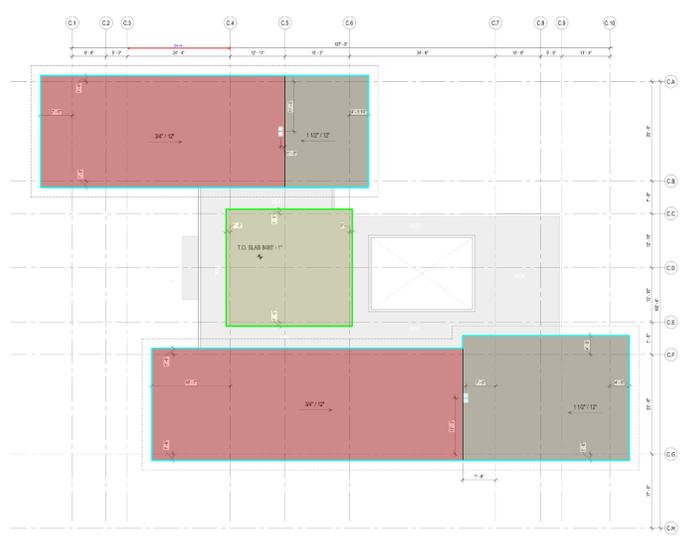
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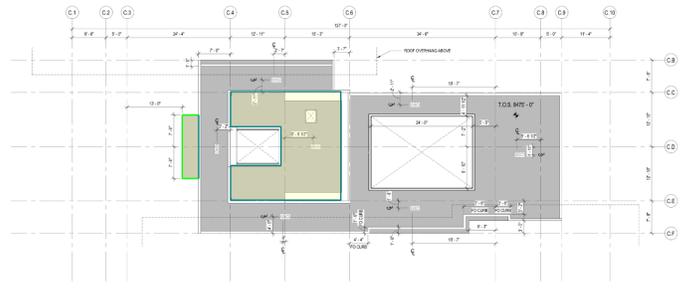
Project Information
Project Name: Tower C - Roof - High
Client: Aspen Group USA, LLC
Location: Park City, Utah
Scale: 1/8" = 1'-0"

Design Team
Architect: Olson Kundig
Structural Engineer: Sommet Blanc
Civil Engineer: Sommet Blanc
Mechanical Engineer: Sommet Blanc
Electrical Engineer: Sommet Blanc
Plumbing Engineer: Sommet Blanc
HVAC Engineer: Sommet Blanc
Fire Protection Engineer: Sommet Blanc
Landscape Architect: Sommet Blanc
Interior Designer: Sommet Blanc
Construction Manager: Sommet Blanc
General Contractor: Sommet Blanc
Architectural Consultant: Sommet Blanc
MEP Engineer: Sommet Blanc

Approval
Checked by: [Signature]
Date: 11/19/2022



2 CONCRETE PLAN - TOWER C - ROOF - HIGH
SCALE: 1/8" = 1'-0"



1 CONCRETE PLAN - TOWER C - ROOF - LOW
SCALE: 1/8" = 1'-0"



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CONCRETE PLAN - TOWER C - ROOF
A2.1C.19