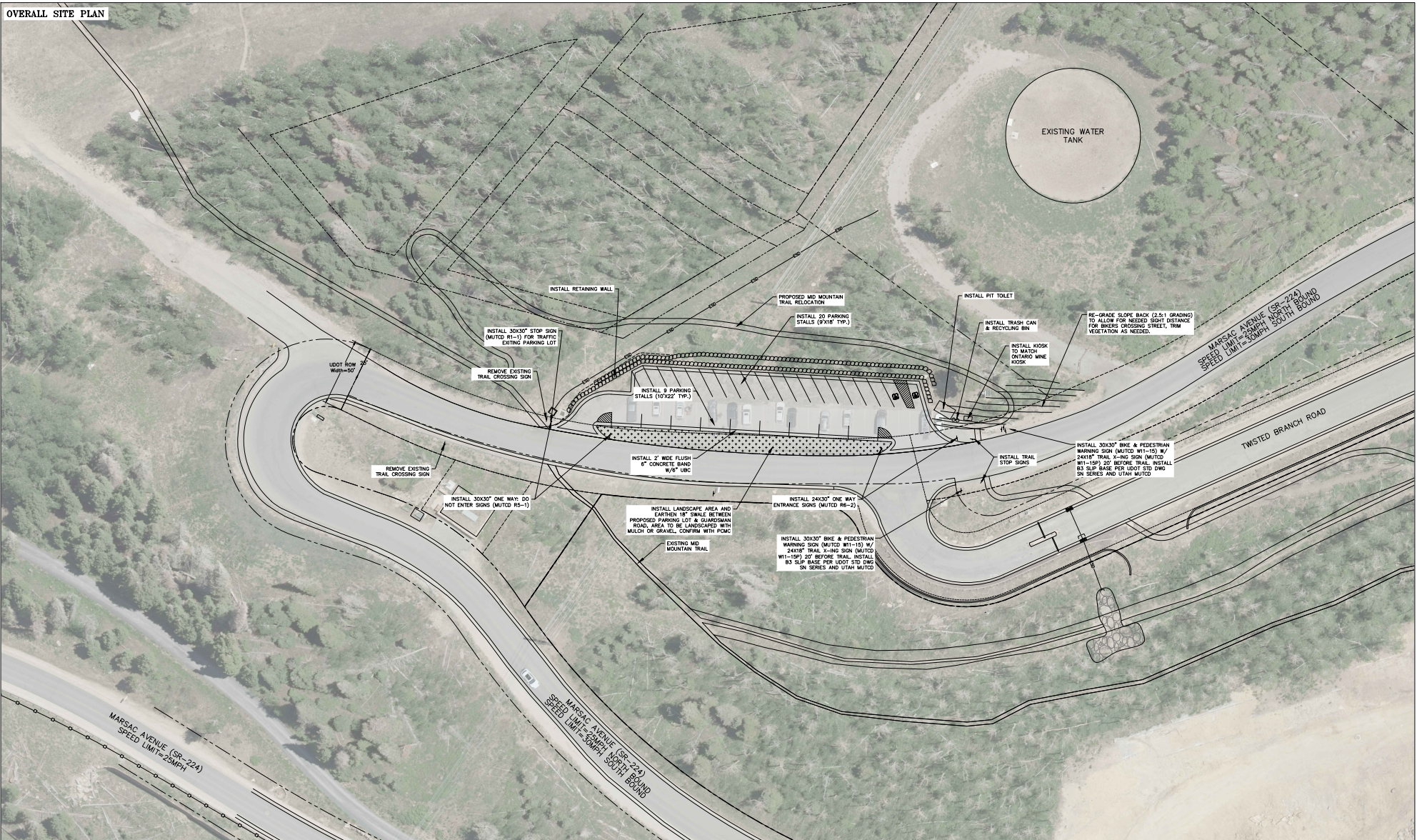
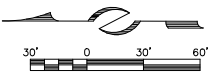


OVERALL SITE PLAN



- PROJECT NOTES:
1. RURAL ROAD ACCESS CATEGORY 7 WITH AADT BETWEEN 100 AND 3,000. LEVEL 2 ACCESS APPLICATION. NO MODIFICATION TO ROAD OR STRIPING PLANNED.
 2. PARKING ON STATE HIGHWAY RIGHT-OF-WAY IS PROHIBITED.
 3. SAW CUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPEC. 2703. PAVEMENT CUTTING FOR CONNECTION TO STATE HIGHWAY.
 4. LOCATE ABOVE-GROUND UTILITIES CLEAR OF AND BEYOND THE MARKED RETIRED CLEAR ZONE WHEN CUES IS ABSENT.
 5. SORE ALL UTILITIES WITHIN THE PAVED SURFACE FOR ALL UTILITY TAPS, FLOWABLE FILL (50-150#) UDOT SPEC. 03575) AND 7" PG SUPERPAVE SEE ROAD SECTION ABOVE.
 6. PROPERTY LOCATED IN THE WEST HALF OF SECTION 28 & THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN PARK CITY, SUMMIT COUNTY, UTAH.
 7. THE EXISTING CONDITIONS & UTILITIES SHOWN ARE FROM FIELD SURVEY & AS-BUILT INFORMATION.
 8. TOPOGRAPHIC INFORMATION WAS PROVIDED BY ALLIANCE ENGINEERING.



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 CONNOR DINSMORE

UDOT CONDITIONAL ACCESS PERMIT
 MID MOUNTAIN TRAIL PARKING PLAN
 OVERALL SITE PLAN

FOR: SOMMET BLANC RESIDENCES I, LLC
 JOB NO.: 1-11-18
 DATE: 10/14/2024

FILE: X:\Empire\eng\UDOT Design\mid mtn trail\82 East-Chil - Mid Mt Trail - UDOT CAP.dwg

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